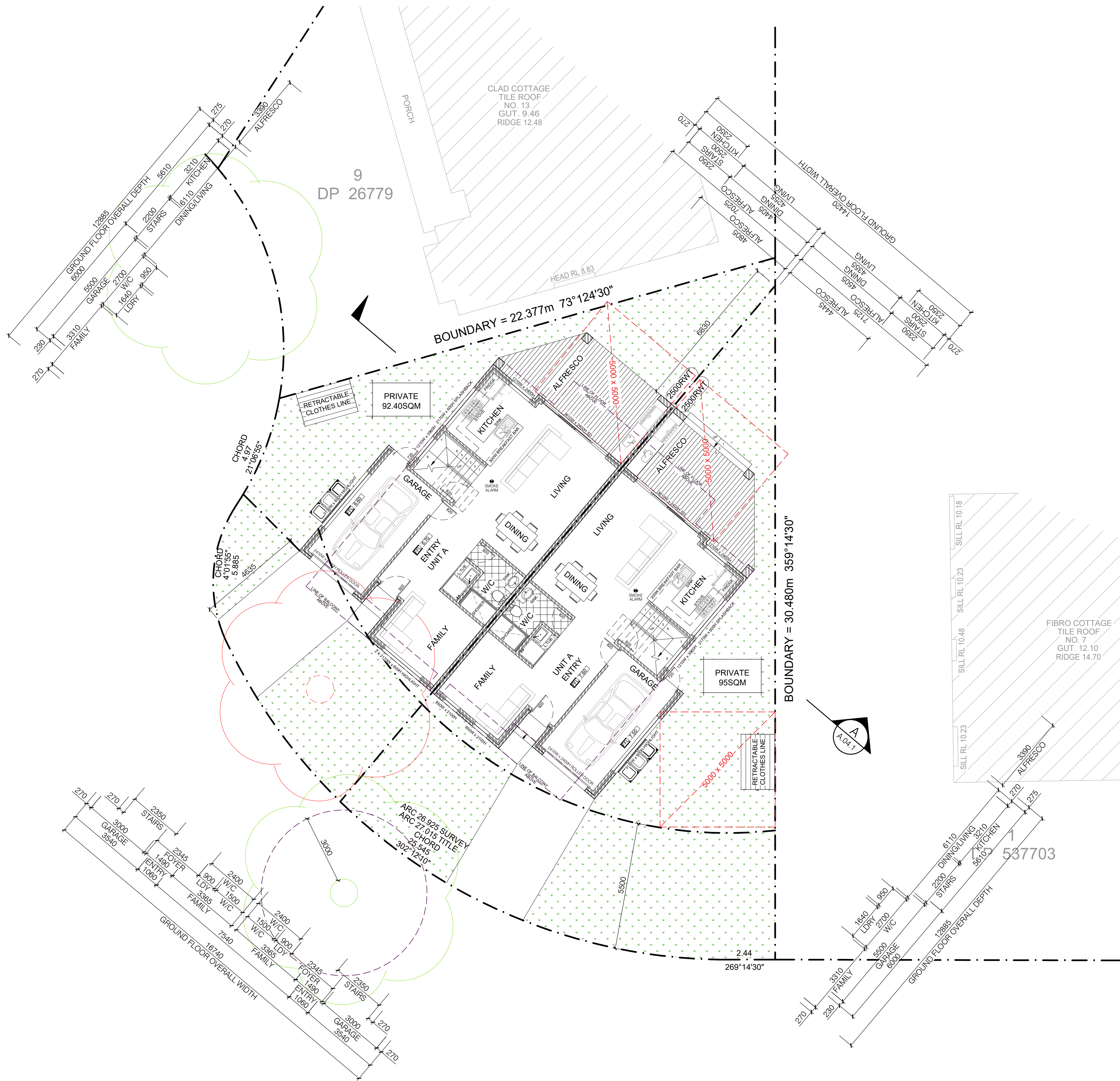


CONSTRUCTION NOTES

- CONFIRM ALL DIMENSIONS ON SITE TO EXISTING RESIDENCE PRIOR TO COMMENCEMENT OF ANY WORK.
- SUPPLY AND INSTALL 'BIFLEX' CHEMICAL TERMITE TREATMENT (UNLESS OTHERWISE APPROVED) TO COMPLY WITH AS3660.1 AND MANUFACTURER'S SPECIFICATIONS
- ALL BRICKWORK (INCLUDING BRICK VENEER) SHALL BE IN ACCORDANCE WITH AS3700- MASONRY CODE
- ALL TIMBER FRAMING SHALL BE IN ACCORDANCE WITH AS1684. - UNLESS OTHERWISE APPROVED ROOF FRAMING SHALL BE OF TRADITIONAL TIMBER FRAMED CONSTRUCTION
- FOR ALL STRUCTURAL MEMBERS, FOOTINGS, & LOAD BEARING WALLS REFER TO STRUCTURAL DOCUMENTATION PREPARED BY ENGINEERS.



PROPOSED GROUND FLOOR PLAN

SCALE - 1 : 100

FEMME BUILD

NEW CONSTRUCTION  
REMODELS  
ADDITIONS  
RENOVATIONS

0403 132 106  
info@femmebuild.com.au

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CONTRACTOR TO CHECK AND VERIFY ALL LEVELS, DATINGS & DIMENSIONS ON SITE AND SHALL REPORT ANY DISCREPANCIES OR OMISSIONS TO THIS OFFICE PRIOR TO START OF WORK & DURING THE CONSTRUCTION PHASE. THIS DRAWING IS TO BE READ AND UNDERSTOOD IN CONJUNCTION WITH STRUCTURAL, MECHANICAL, ELECTRICAL AND OR ANY OTHER CONSULTANTS DOCUMENTATION AS MAY BE APPLICABLE TO THE PROJECT PRIOR TO START OF WORK & ITS DURATION. MEASUREMENT SCALINGS OF THIS DRAWING SHALL ONLY BE PERMITTED IN ITS DIGITAL FORM.

WALL SCHEDULE

WALL SARKING & BULK INSULATION AS  
REQUIRED BY ENERGY ASSESSMENT

- CAVITY BRICK WALL.**  
SELECTED. EXPOSED FACE BRICK  
(RE-USE RECYCLED BRICK FROM DEMOLITION).
- BRICK VENEER WALL.**  
SELECTED. EXPOSED FACE BRICK  
(RE-USE RECYCLED BRICK FROM DEMOLITION).  
INTERIOR FINISH OTHER - PROVIDE  
FLUSH PLASTER FINISH.

01	DEVELOPMENT APPLICATION	SK	15.04.22
REV	AMENDMENT DETAILS	BY	DATE

PROJECT STAGE  
DEVELOPMENT APP.

PROJECT DETAILS  
DUAL-OCCUPANCY

11 BROWNING STREET,  
EAST HILLS

CLIENT DETAILS  
MR TOBBAGI

DRAWING TITLE  
PROPOSED  
GROUND FLOOR PLAN

DRAWN

SK

DESIGNED

FB

CHECK

FB

DATE DRAWN  
APRIL 2022

DRAWING SCALE  
1 : 100

SHEET SIZE  
A1

0 1m 2m 3m 4m 5m 6m 7m 8m 9m 10m  
1:100 @ A1 1:200 @ A3 1:267 @ A4



ACCREDITED  
BUILDING DESIGNER

ACCREDITATION NUMBER: 6613 - MEMBER NUMBER 6763-21

PROJECT NUMBER FB0004	DRAWING NUMBER A.02.1	REVISION 01
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